

Design and Construction of a Storage Pole Barn and Site Work at Deep Cut Gardens

BUILDING NOTES AND SPECIFICATIONS: (SEE ADDITIONAL SEPARATE SPEC BOOK)

- GENERAL**
- CONTRACTOR TO CONFORM WITH THE GENERAL REQUIREMENTS SECTION OF THE SPECIFICATIONS.
 - THE BUILDING ILLUSTRATED HEREIN IS TO SERVE AS A STORAGE BUILDING.
 - THE BUILDING IS TO BE CONSTRUCTED USING STATE OF THE ART POLE BARN CONSTRUCTION METHODS.
 - CONTRACTOR SHALL PROVIDE ENGINEER DESIGNED AND SIGNED DRAWINGS BY A LICENSED NEW JERSEY ENGINEER. DESIGN SHALL INCLUDE ALL POST SIZES AND EMBEDMENTS, FOOTING SIZES, TRUSS DESIGN CRITERIA, DIAGONAL CROSS BRACING, ROOF SHEATHING AND ALL CONSTRUCTION DETAILS NECESSARY FOR PERMITTING AND CONSTRUCTION OF THE BUILDING. CONTRACTOR SHALL SUBMIT DRAWINGS TO OWNER FOR REVIEW PRIOR TO PERMITTING. CONTRACTOR SHALL OBTAIN ALL BUILDING AND UTILITY PERMITS.

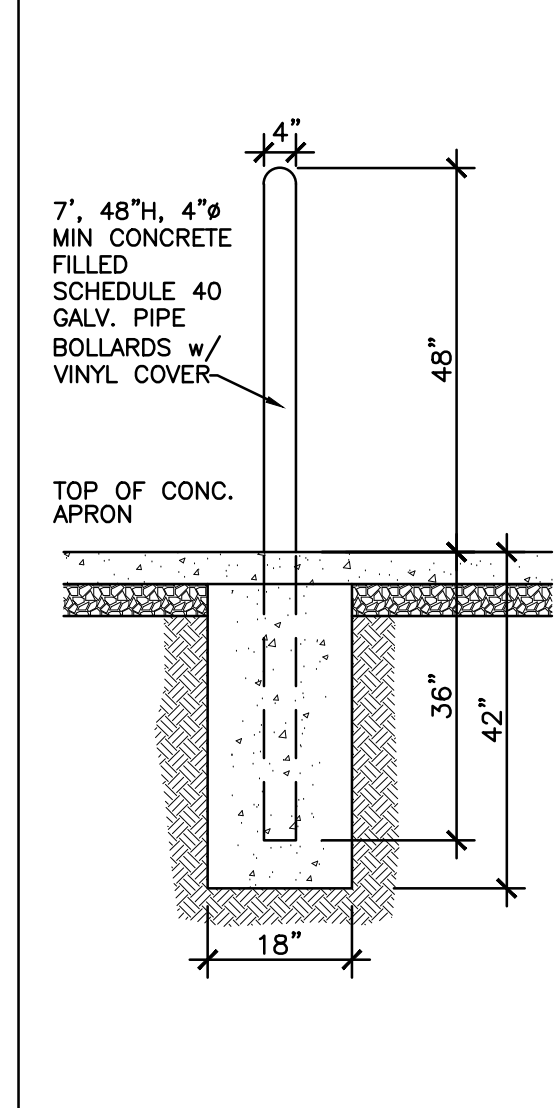
- CONCRETE - SEE SPEC BOOK FOR ADDITIONAL**
- SLAB TO BE THICKNESS AND SLOPES PER PLANS, 4000 P.S.I. POURED CONCRETE WITH 10/10, 6x6 W/M OR FIBER REINFORCED CONCRETE (FRC). SMOOTH TROWEL FINISH AND EXPANSION JOINTS AS SHOWN, CUT W/IN 24 HOURS OF POUR. NO CONCRETE WORK SHALL TAKE PLACE WITHIN A 24 HOUR PERIOD OF FORECASTED RAIN. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES AND/OR IMPERFECTIONS OCCURRING IN CONCRETE WORK. ALL CONCRETE WORK MUST BE INSPECTED AND APPROVED BY OWNER'S REPRESENTATIVE.
 - FRONT CONCRETE APRON TO BE 6" THICK, 4000 P.S.I., POURED CONCRETE WITH 10/10, 6x6 W/M OR FIBER REINFORCED CONCRETE (FRC). FRONT EDGE OF APRON TO HAVE REINFORCED 2" DEEP X 8" WIDE CONCRETE FOUNDATION. SIDE AND REAR CONCRETE APRONS TO BE 4" THICK 4000 P.S.I. POURED CONCRETE WITH 10/10, 6x6 W/M.
 - PROVIDE SUBMITTALS FOR ALL DESIGN MIXES.
 - ALL EXTERIOR CONCRETE, APRONS AND WALKS, TO BE AIR-ENTRAINED. TICKET TO BE PROVIDED FOR ALL CONCRETE.
 - CONTROL JOINTS (1/4d) SHALL BE CUT WITHIN 24 HOURS OR POURING CONCRETE.

- WOOD AND TRUSSES**
- ALL POSTS SHALL BE GLUE LAMINATED AND MCQ PRESSURE TREATED TO A .34 RETENTION TO A MIN HEIGHT OF 6' ABOVE FINISH FLOOR. SIZES AND SPACING BY ENGINEER.
 - ALL HEADERS ARE TO BE 2-1 3/4"x12" MIN GLUE-LAMINATED, AND LAG BOLTED TO POSTS USING HOT DIPPED GALVANIZED LAG BOLTS.
 - CONTRACTOR TO PROVIDE TRUSS SPECS AND DETAILS SIGNED BY A LICENSED ENGINEER. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO SUBMITTAL FOR PERMIT OR ANY FABRICATION. TRUSSES SHALL BE DESIGNED FOR A STORAGE LOAD AND FUTURE SOLAR COLLECTOR LOADS PER PLANS.

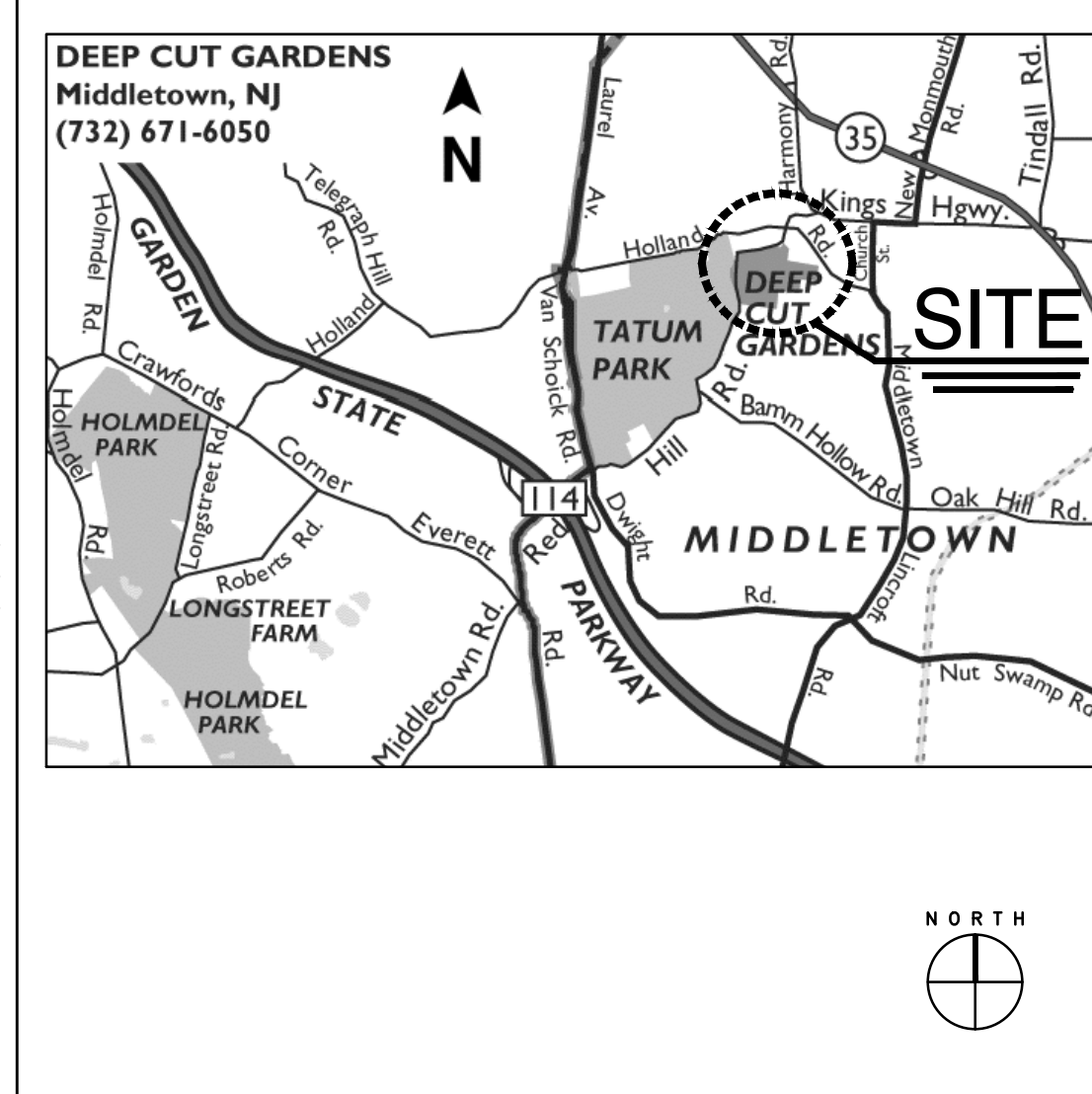
- DOORS**
- OVERHEAD SECTIONAL DOORS: 20 GA. HEAVY DUTY, RAISED PANEL INSULATED GALVANIZED STEEL DOOR MANUFACTURED BY CLOPAY 3722, OVERHEAD DOOR COMPANY, OR EQUAL. IF NEEDED, PROVIDE LOW OVERHEAD TRACK. PROVIDE 2" STL TRACK WITH HEAVY DUTY STEEL HINGES. OVERHEAD DOOR SHALL HAVE DOUBLE BARRED DEAD BOLT LOCKS OPERABLE FROM CENTER OF DOOR. PROVIDE HAND OPERATION MECHANISM. POWDERCOATED COLOR TO BE DETERMINED FROM MANUF FULL RANGE.
 - EXTERIOR PASSAGE DOOR TO BE 1-3/4" INSULATED STEEL GALVANIZED, 14 GAUGE, EMBOSSED SEAMLESS EDGE, CLOSE TOP DOOR, WITH POLYSTYRENE INSULATION. 2" FRAME TO BE GALVANIZED 14 GAUGE, ARC-WELDED ONLY, MITERED CORNERS. DOOR AND FRAME TO BE FACTORY POWDERCOATED. GALAXY, PIONEER OR EQUAL. COLOR TO BE SELECTED.
 - PASSAGE DOOR HARDWARE SHALL BE LEVER TYPE. ALL LOCKS TO BE BEST KEY COMPATIBLE (6PIN) LOCK, INSTALLED WITH CONSTRUCTION CORE. OWNER WILL INSTALL PERMANENT CORE.
 - PROVIDE CLOSER AND KICKDOWN DOOR STOP. FINISH TBD.
 - ATTIC BARN DOORS: BI-PARTING PAINTED GALV STEEL FRAME SLIDING PAIR W/ GALVANIZED STEEL HEAVY DUTY INDUSTRIAL SLIDING BOX RAIL SYSTEM BY REAL CARRIAGE DOOR COMPANY, TRITON, RAMM OR EQUAL.
 - HARDWARE TO INCLUDE ALL STEEL TRACKS, SIDEWALL BRACKETS, TROLLEY HANGERS, END BLINDS, TRACK STOPS, BOTTOM GUIDE, LOCK JOINT PLATE AND MOUNTING HARDWARE AS REQUIRED FOR A COMPLETE INSTALLATION.
 - PROVIDE PULL HANDLES FOR EACH DOOR PANEL.
 - PROVIDE HOOKING KEYS DEADBOLT (BEST CORE INTERCHANGABLE) WITH INTERIOR THUMB TURN AND LATCH AT EACH PAIR.
 - PROVIDE TOP FLASHING ABOVE ENTIRE RAIL.

- ROOF AND WALL PANELS AND APPURTENANCES**
- ROOF AND WALL PANELS:
 - LAP-SEAM ROOF PANELS: GALVALUME OR GALVANIZED STEEL PANELS FACTORY FORMED TO PROVIDE 36-INCH COVERAGE, WITH RAISED TRAPEZOIDAL MAJOR RIBS AT 16 INCHES O.C., AND INTERMEDIATE STIFFENING RIBS SYMMETRICALLY SPACED BETWEEN MAJOR RIBS. DESIGN PANELS FOR MECHANICAL ATTACHMENT TO STRUCTURE USING CONCEALED FASTENERS, LAPPING MAJOR RIBS AT PANEL EDGES. ROOF TO HAVE CONTINUOUS VENT. ROOF PANEL METAL THICKNESS: 0.0239 IN (24 GA MIN).
 - LAP-SEAM WALL PANELS: GALVALUME OR GALVANIZED STEEL PANELS FACTORY FORMED TO PROVIDE 36-INCH COVERAGE, WITH RAISED TRAPEZOIDAL MAJOR RIBS AT 12 INCHES O.C., AND INTERMEDIATE STIFFENING RIBS SYMMETRICALLY SPACED BETWEEN MAJOR RIBS. DESIGN PANELS FOR MECHANICAL ATTACHMENT TO STRUCTURE USING EXPOSED DOUBLE GALVANIZED OR STAINLESS STEEL FASTENERS W/ EPDM WASHERS. LAPPING MAJOR RIBS AT PANEL EDGES. WALL PANEL METAL THICKNESS: 0.0239 INCH (24 GAUGE MIN).
 - ROOF AND WALL METAL PANEL FINISH: FLUOROPOLYMER (PVDF) 2-COAT SYSTEM CONSISTING OF SPECIALLY FORMULATED PRIMER AND FLUOROPOLYMER COLOR TOPCOAT CONTAINING NOT LESS THAN 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN BY WEIGHT, WITH A TOTAL MINIMUM DRY FILM THICKNESS OF 1 MIL. OVER GALVANIZED OR GALVALUME STEEL PANELS.
 - PANEL ACCESSORIES AND MISCELLANEOUS MATERIALS: PROVIDE CLIPS, FLASHINGS, SEALANTS, GASKETS, AND SIMILAR ITEMS. WHERE ROOF PANELS ATTACH DIRECTLY TO PURLINS, PROVIDE 1-INCH THICK EXTRUDED-POLYSTYRENE THERMAL SPACER BLOCKS. PROVIDE ALL MISCELLANEOUS MATERIALS TO ENSURE A COMPLETE PROJECT AND WATER TIGHT PERFORMANCE.
 - PROVIDE UNDERLAYMENT W/ FASTENERS PER MANUFACTURER RECOMMENDATIONS. PROVIDE SLIPSHEET IF BITUMINOUS UNDERLAYMENT.
 - WARRANTIES: PROVIDE MANUFACTURER'S WARRANTY COVERING THE SUBSTRATE (METAL) AGAINST RUPTURE, PERFORATION, AND STRUCTURAL FAILURE DUE TO NORMAL ATMOSPHERIC CORROSION FOR TWENTY-FIVE (25) YEARS. PROVIDE MANUFACTURER WARRANTY THAT COATING SHALL NOT BLISTER, PEEL, CRACK, CHIP, OR EXPERIENCE MATERIAL RUST THROUGH FOR TWENTY-FIVE (25) YEARS.
 - SOFFITS, ATTIC GABLE VENTS, RIDGE VENTS, FLASHING AND TRIM: FORM FROM 0.0179-INCH THICK, ZINC-COATED (GALVANIZED) STEEL SHEET PRE-PAINTED WITH COIL COATING. SOFFITS TO BE PERFORATED FOR VENTILATION. PROVIDE FLASHING AND TRIM AS REQUIRED TO SEAL AGAINST WEATHER AND TO PROVIDE FINISHED APPEARANCE. FINISH FLASHING AND TRIM SAME AS ADJACENT ROOF OR WALL PANELS.
 - GUTTERS AND DOWNSPOUTS: 5", FORM FROM 0.0179-INCH THICK, ZINC-COATED (GALVANIZED) STEEL SHEET PRE-PAINTED WITH COIL COATING. MATCH GUTTERS TO PROFILE OF GABLE TRIM AND FINISH GUTTERS TO MATCH ROOF FASCIA AND RAKE TRIM. FINISH 3x4 DOWNSPOUTS TO MATCH WALL PANEL.
 - PROVIDE SPLASHBLOCKS AND PERFORATED DOWNSPOUT EXTENDERS.
 - PROVIDE REMOVABLE GUTTER SCREENS.
 - SNOW GUARDS: PREFABRICATED, ANODIZED ALUMINUM UNITS DESIGNED TO USE WITH SHEET METAL ROOFING. SNOWGUARDS SHALL NOT BE ATTACHED IN ANY MANNER THAT PENETRATES THE ROOF. ENGLERT S-5 COLORGUARD, FENCE STYLE OR EQ. COLOR TO MATCH ROOF.

- VENTILATING CUPOLA**
- PREFABRICATED, SCREENED, LOUVERED, POWDERCOATED STEEL CUPOLA W/ METAL ROOF. COPPER ROOF COLOR, VENTS TO MATCH SIDING, BASE TO MATCH ADJACENT ROOF. 48" SQ BASE. TRITON OR EQ.
- ELECTRICAL**
- CONTRACTOR TO COORDINATE NEW OVERHEAD ELECTRICAL SERVICE WITH JCP+L AND OWNER.
 - CONTRACTOR TO OBTAIN ALL PERMITS.
 - PROVIDE NEW METER AND 200 AMP SERVICE. SINGLE PHASE 120/240V WITH DISCONNECT. OVERHEAD TO HOODED WEATHERHEAD MAST.
 - ALL PANELS, EQUIP AND APPURTENANCES TO BE SQUARE-D.
 - ALL WIRING TO BE COPPER.
 - ALL OUTLETS TO BE GF. EXTERIOR WATERPROOF OUTLETS TO HAVE COVERS.
 - LIGHT FIXTURES, EXIT LIGHTS, REMOTES AND SIGNAGE TO BE HE WILLIAMS, COOPER LIGHTING, ASTRALITE OR EQ.
 - PROVIDE SUBMITTALS FOR ALL ELECTRICAL FIXTURES AND COMPONENTS.



BOLLARD DET 1/2"=1'-0" 2



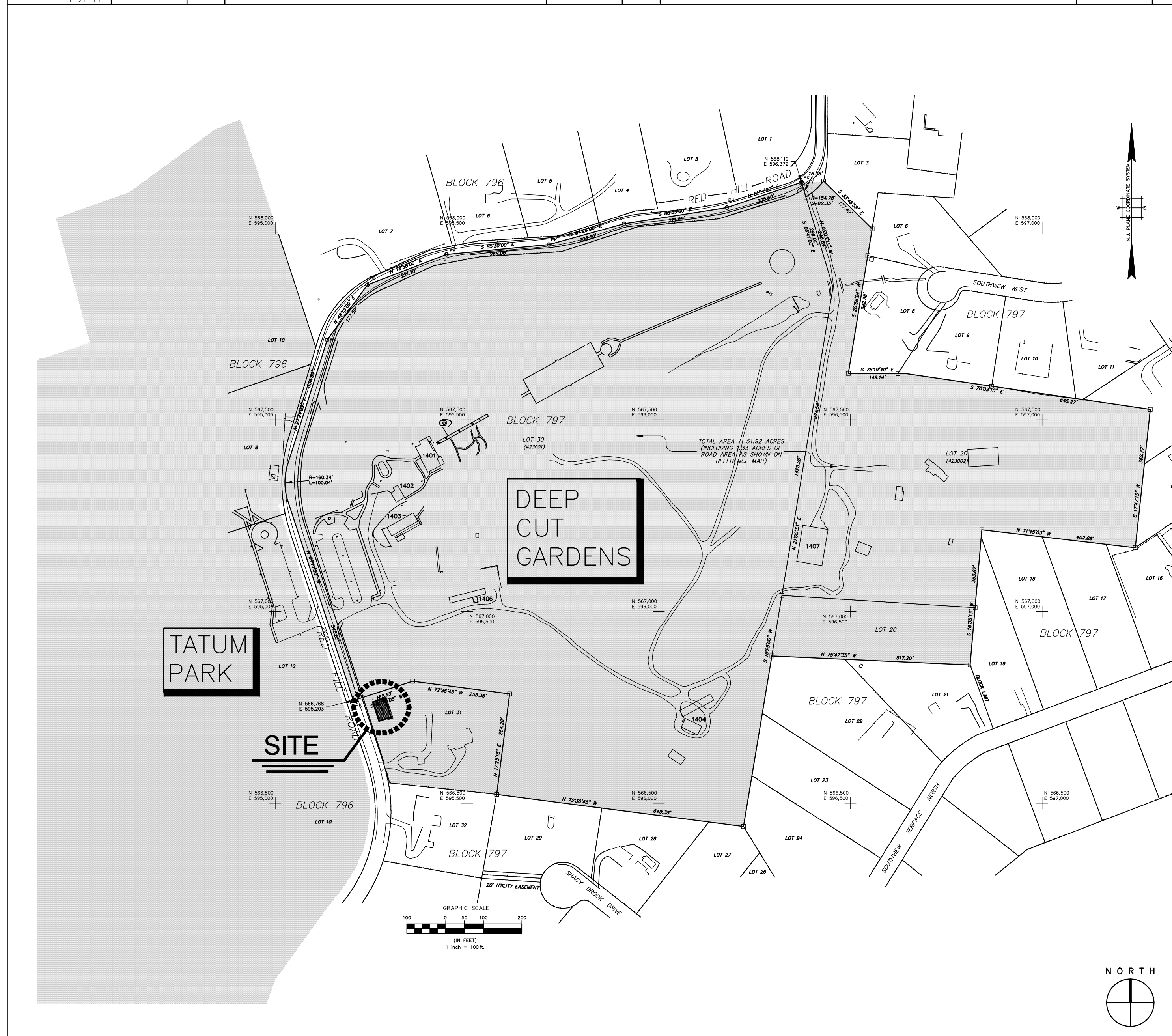
VICINITY MAP

PROJECT ADDRESS:
 DEEP CUT GARDENS 423
 ADJ 154 RED HILL ROAD
 MIDDLETOWN TOWNSHIP
 BLOCK: 797 LOT: 31
 LAT: 40d23'19.46"N LG: 74d07'46.94"W

OWNER:
 MONMOUTH COUNTY PARK SYSTEM
 ACQUISITION AND DESIGN DEPARTMENT
 805 NEWMAN SPRINGS ROAD
 LINCROFT, NEW JERSEY 07738
 732-842-4000

PROJECT DESCRIPTION	
SHEET INDEX	
T1	TITLE SHEET, GENERAL NOTES, SPECS, SITE WORK
L1	SITE PLANS, GRADING AND DETAILS
A1	FLOOR PLAN, EXTERIOR ELEVATIONS, SECTION, DETAILS

SHEET INDEX



PARK PARCEL MAP PARTIAL NTS 1

REV	DATE	BY
CAP REVIEW	09/03/14	GC
BID SET	05/05/15	GC

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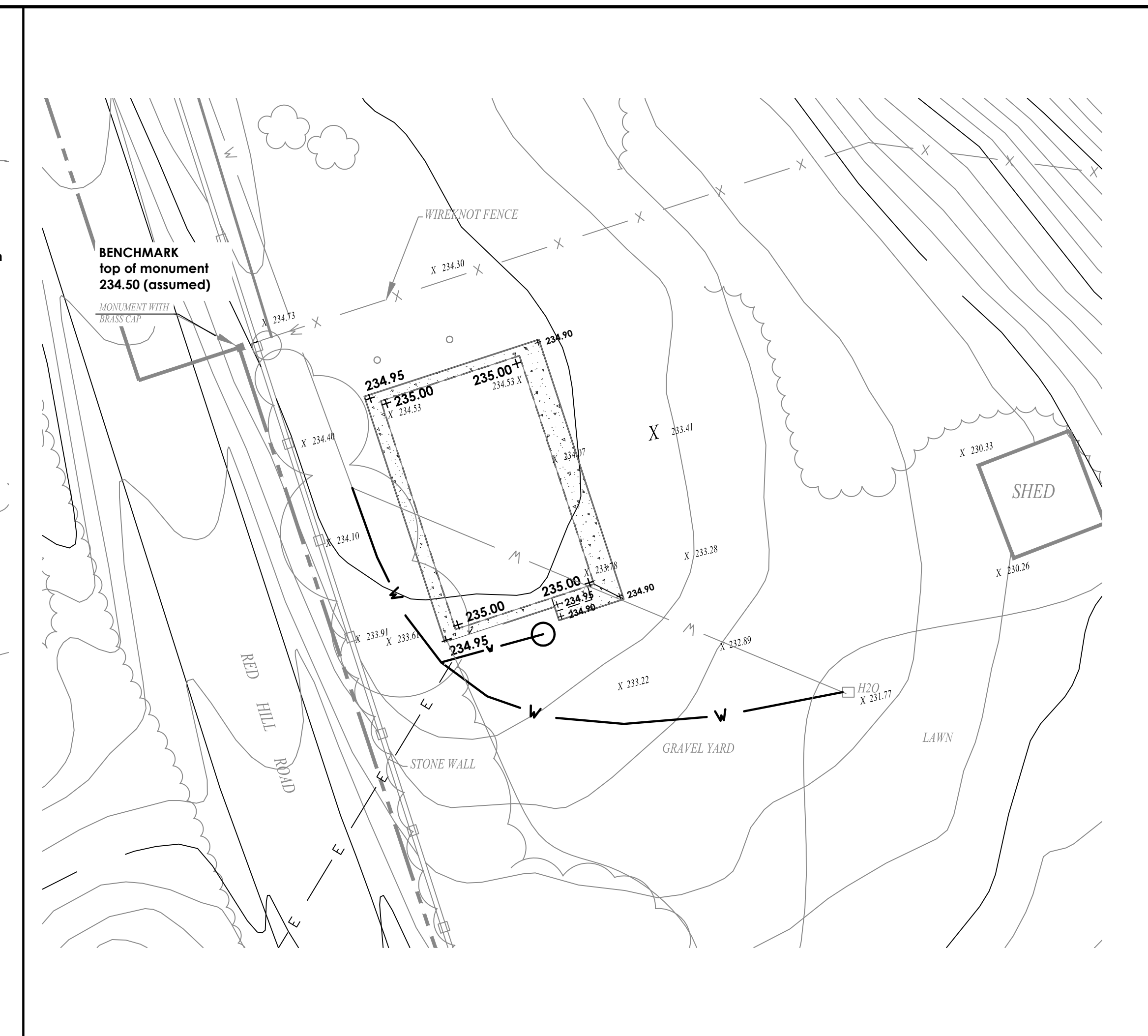
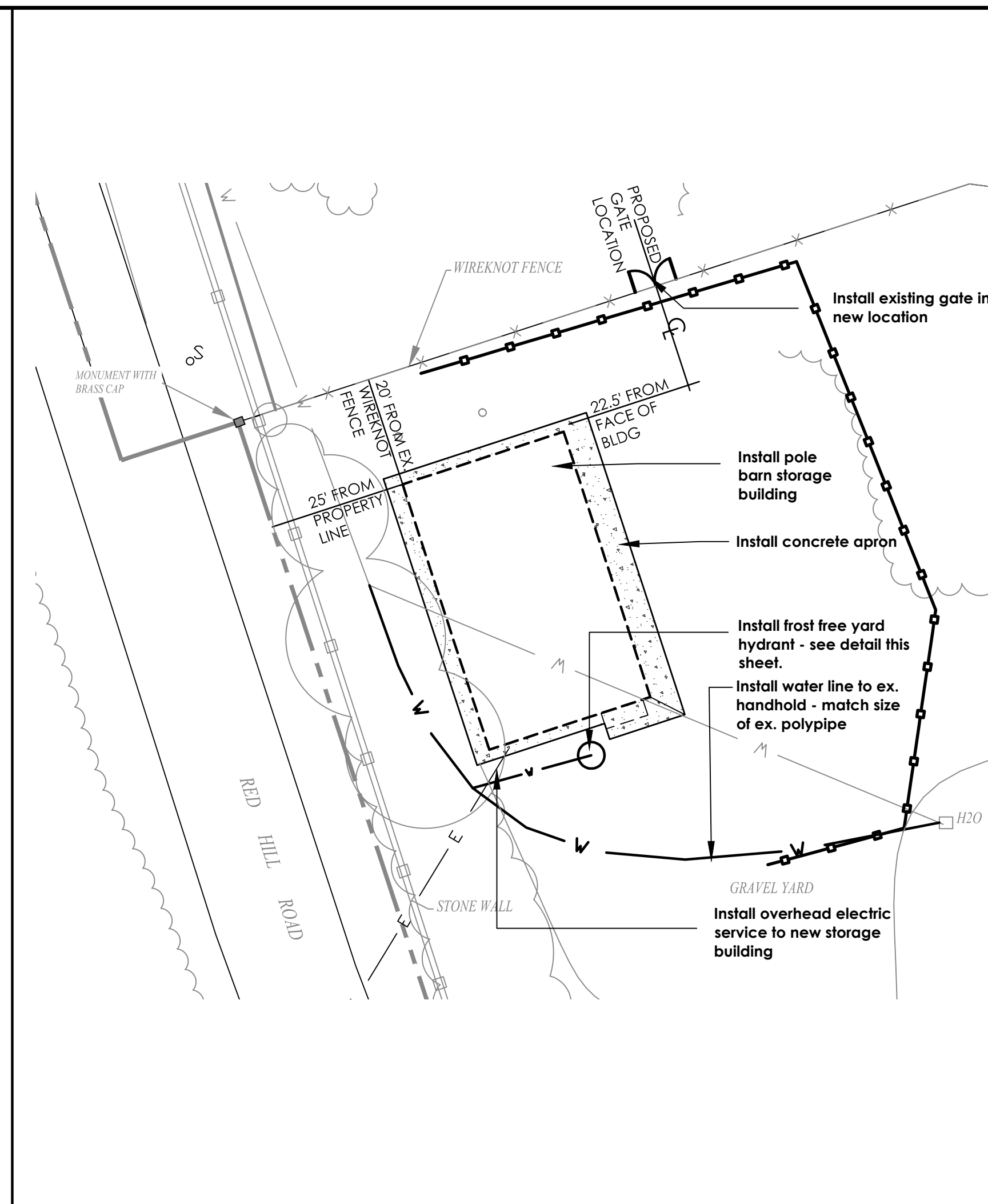
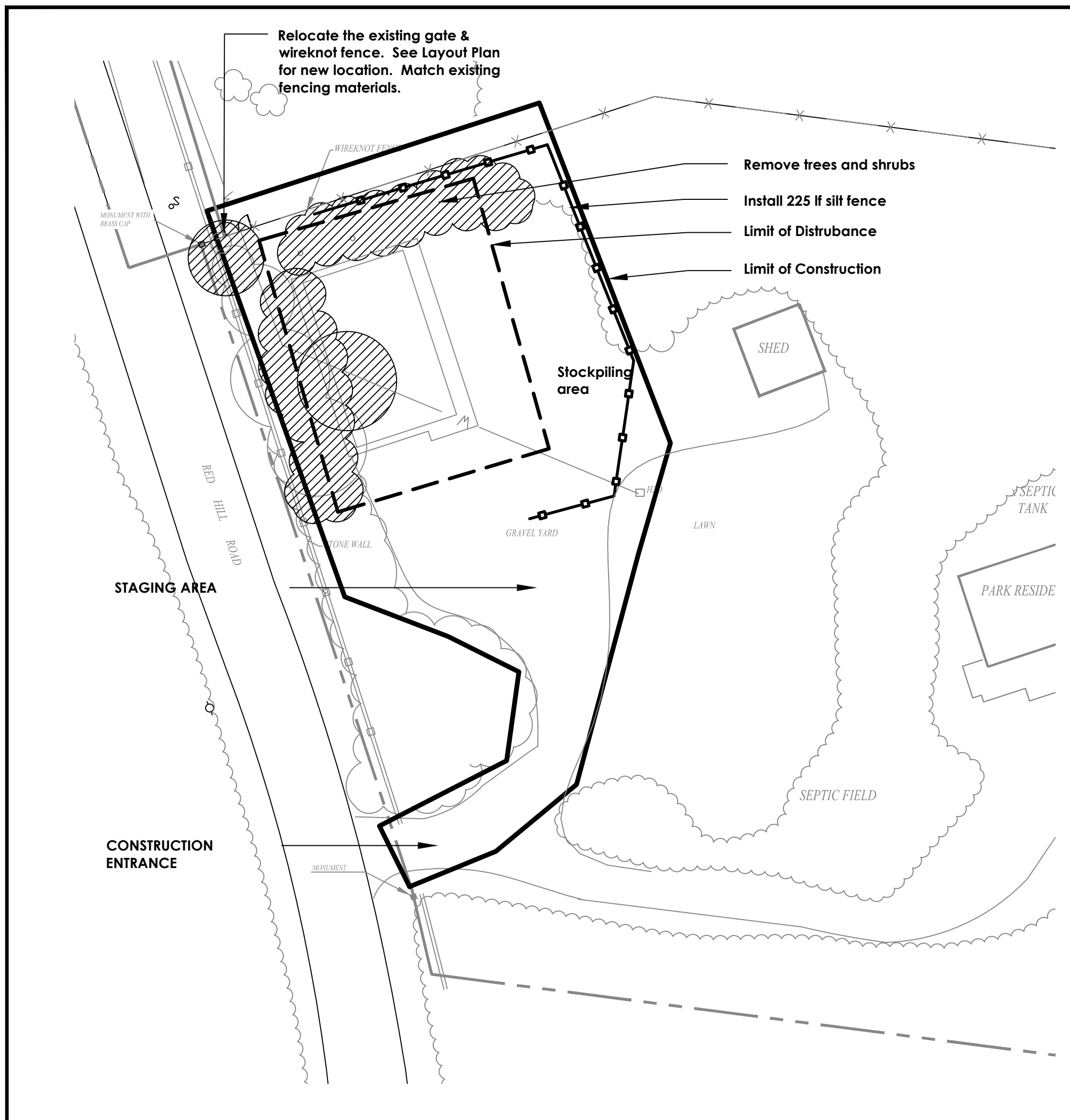
MONMOUTH COUNTY PARK SYSTEM
 BOARD OF PARK AND RECREATION COMMISSIONERS
 805 NEWMAN SPRINGS ROAD
 LINCROFT, NEW JERSEY 07738-1985
 PHONE (732) 842-4000 FAX (732) 842-3640



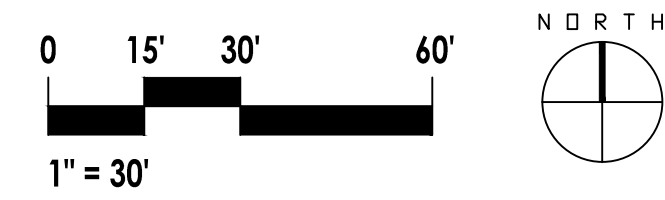
STORAGE POLE BARN BUILDING
 DEEP CUT GARDENS 423
 TITLE SHEET, NOTES AND SPECIFICATIONS, SITE PLANS

DATE 04/09/15 SCALE AS NOTED PROJECT # 142330 DRAWN GAC CHECKED

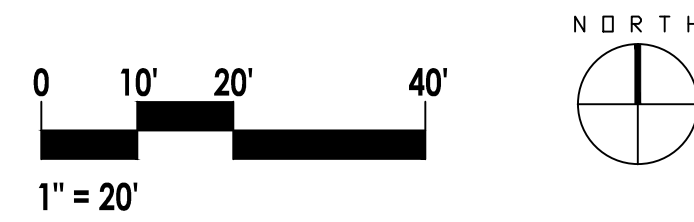
SHEET NO. T1
 1 OF 3



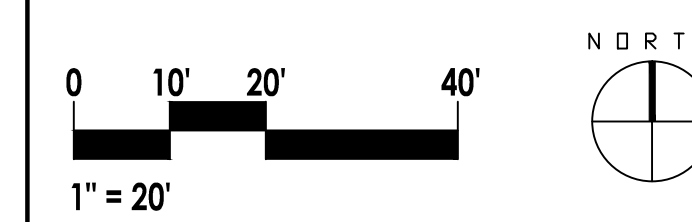
SITE PREPARATION AND CLEARING PLAN



SITE & LAYOUT PLAN



GRADING PLAN

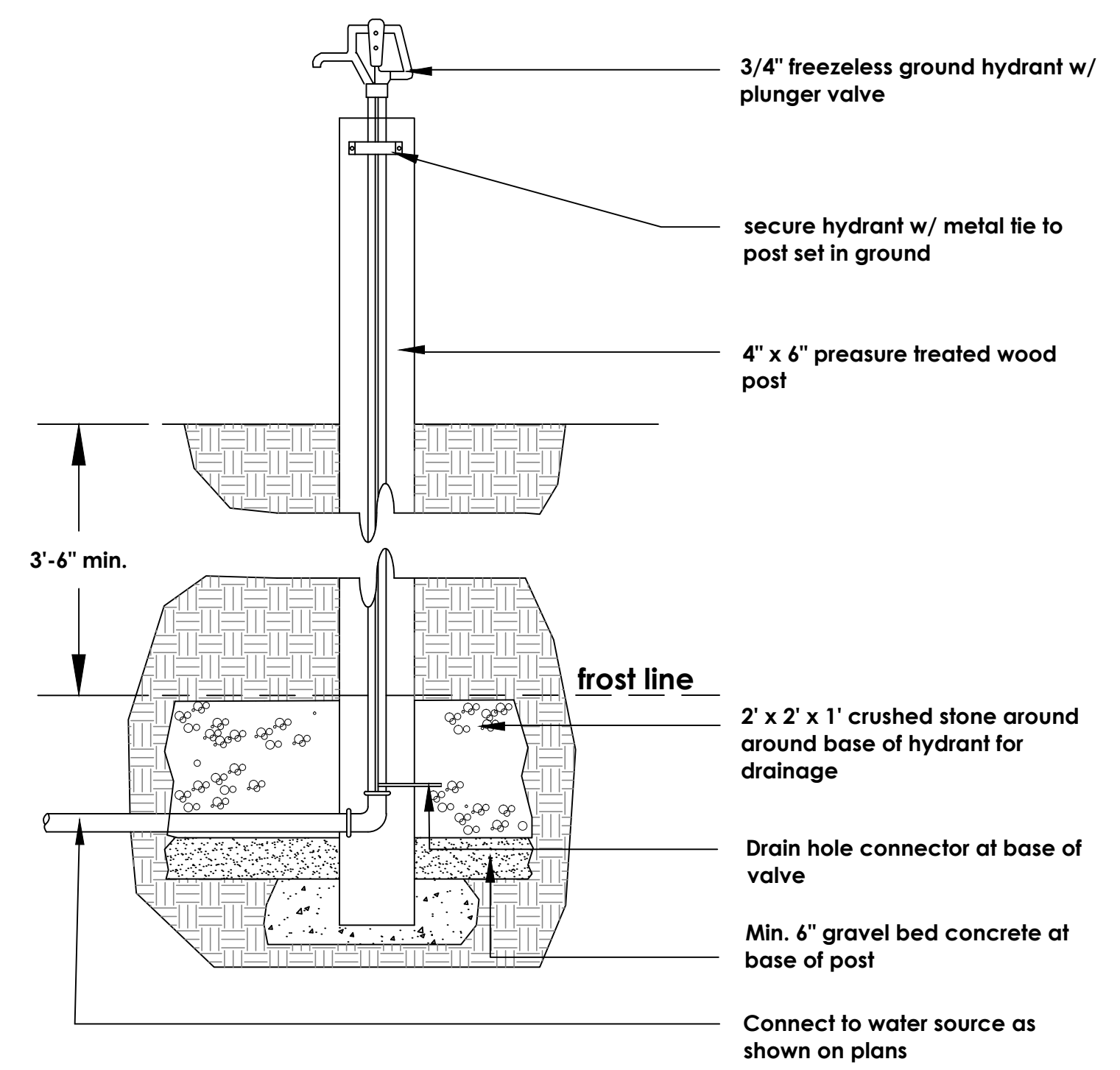


LEGEND

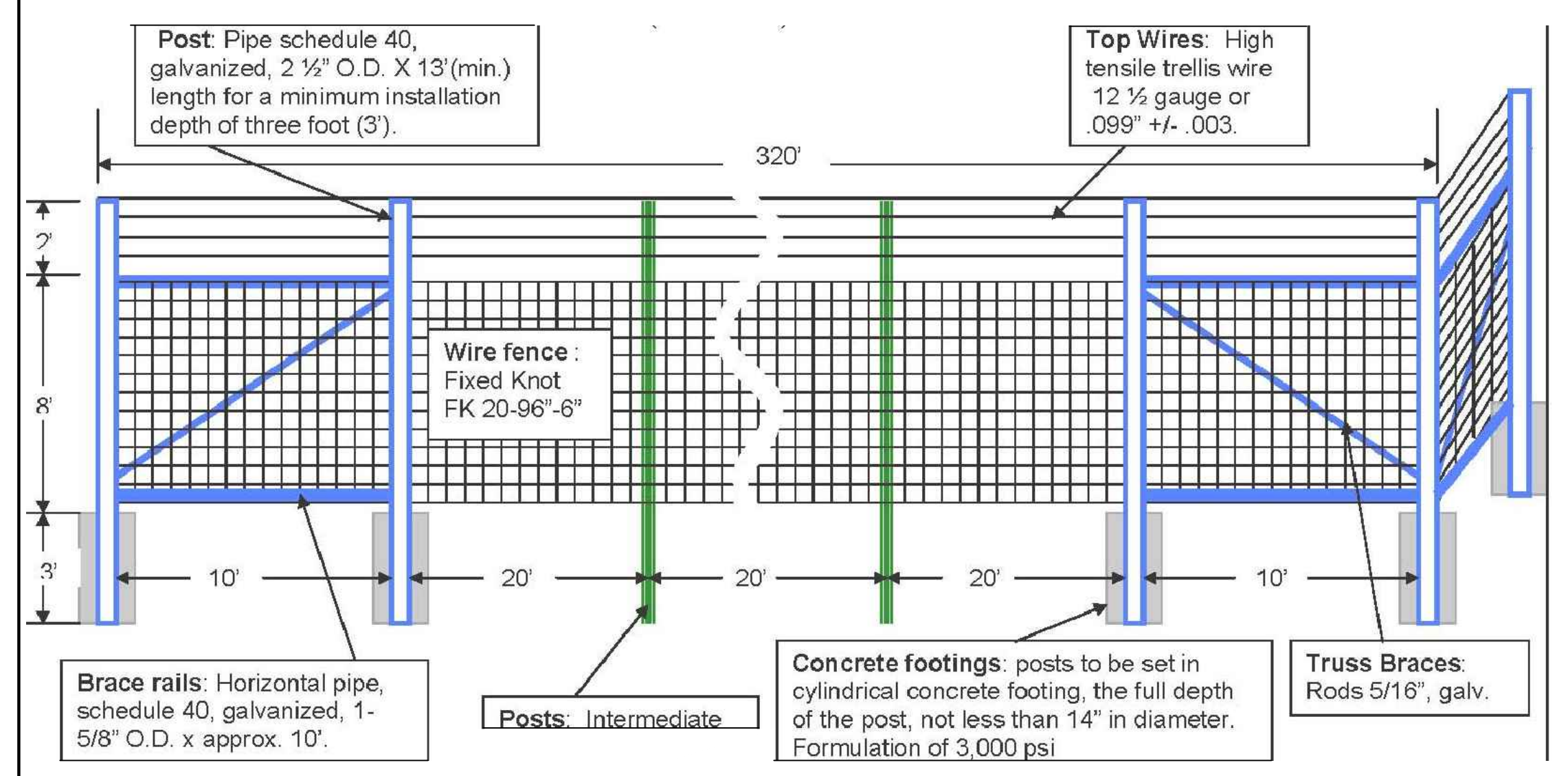
- TEXT STYLE - DENOTES EXISTING FEATURES
- TEXT STYLE - DENOTES PROPOSED FEATURES
- LIMIT OF DISTURBANCE
- LIMIT OF CONSTRUCTION
- - - - - PROPERTY LINE
- - - - - PROPOSED SILT FENCE
- ○ ○ ○ ○ TREES AND SHRUBS TO BE REMOVED
- ○ ○ ○ ○ EXISTING SPOT ELEVATIONS
- + 235.00 PROPOSED SPOT ELEVATIONS

NOTES

1. Protect existing stone wall, wire fence and all existing trees within the limit of construction.
2. All debris for demolition shall be disposed of off-site unless noted otherwise.
3. The layout of all proposed site features, including walkways, patio, driveway, etc., and all proposed elevations shall be performed by a surveyor licensed in the state of New Jersey. MCPS shall provide the Site Plan in a dwg format. Owner shall review layout prior to any construction.
4. BENCHMARK - USE PROPERTY MONUMENT WITH BRASS CAP NOTED ON THE PLAN.
5. Feather new grade to meet existing grade with a maximum slope of 4:1.



FROST FREE YARD HYDRANT DETAIL
NOT TO SCALE



WIREKNOT FENCE DETAIL & GATE PHOTO
NOT TO SCALE



REV	DATE	BY

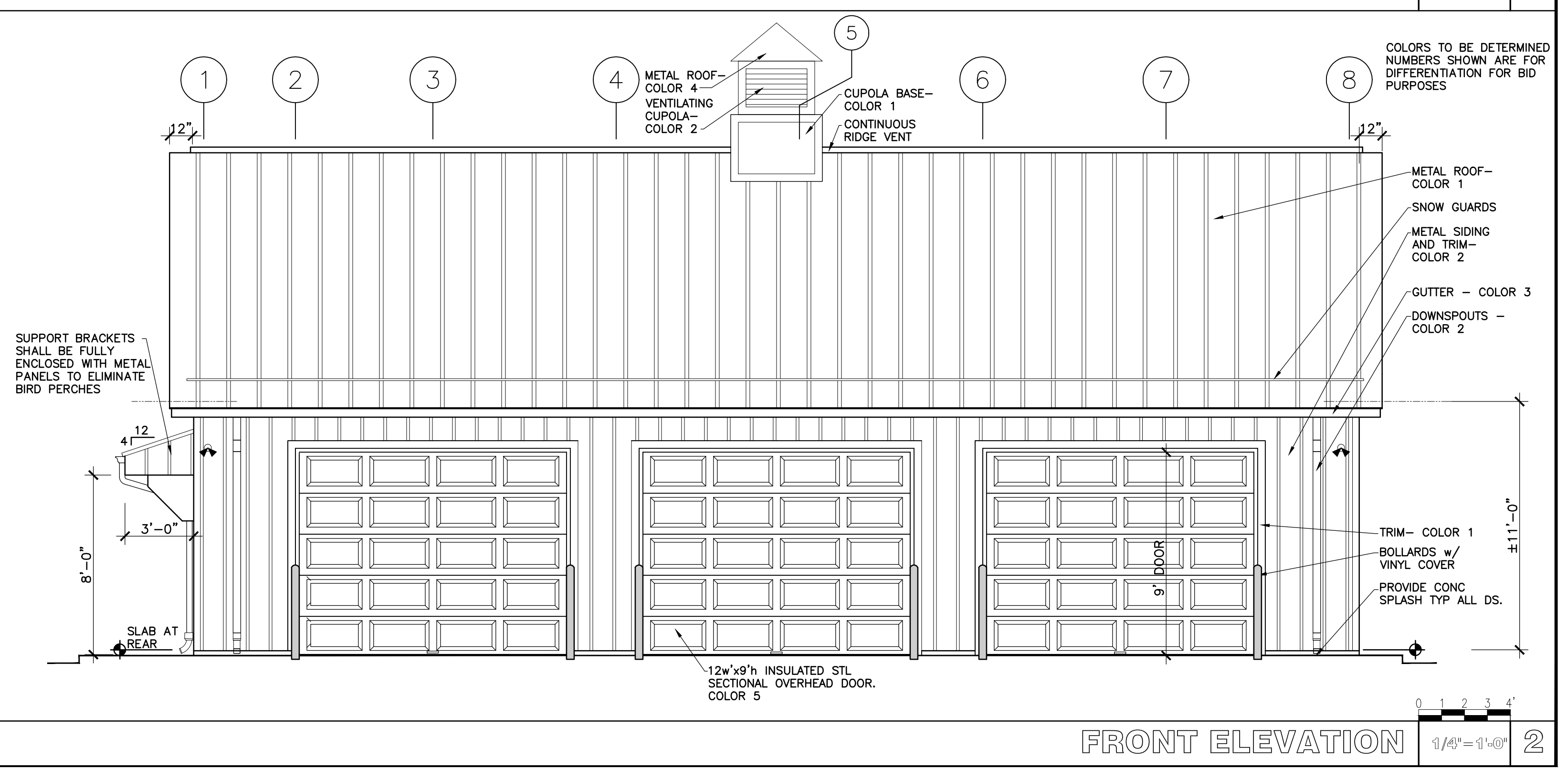
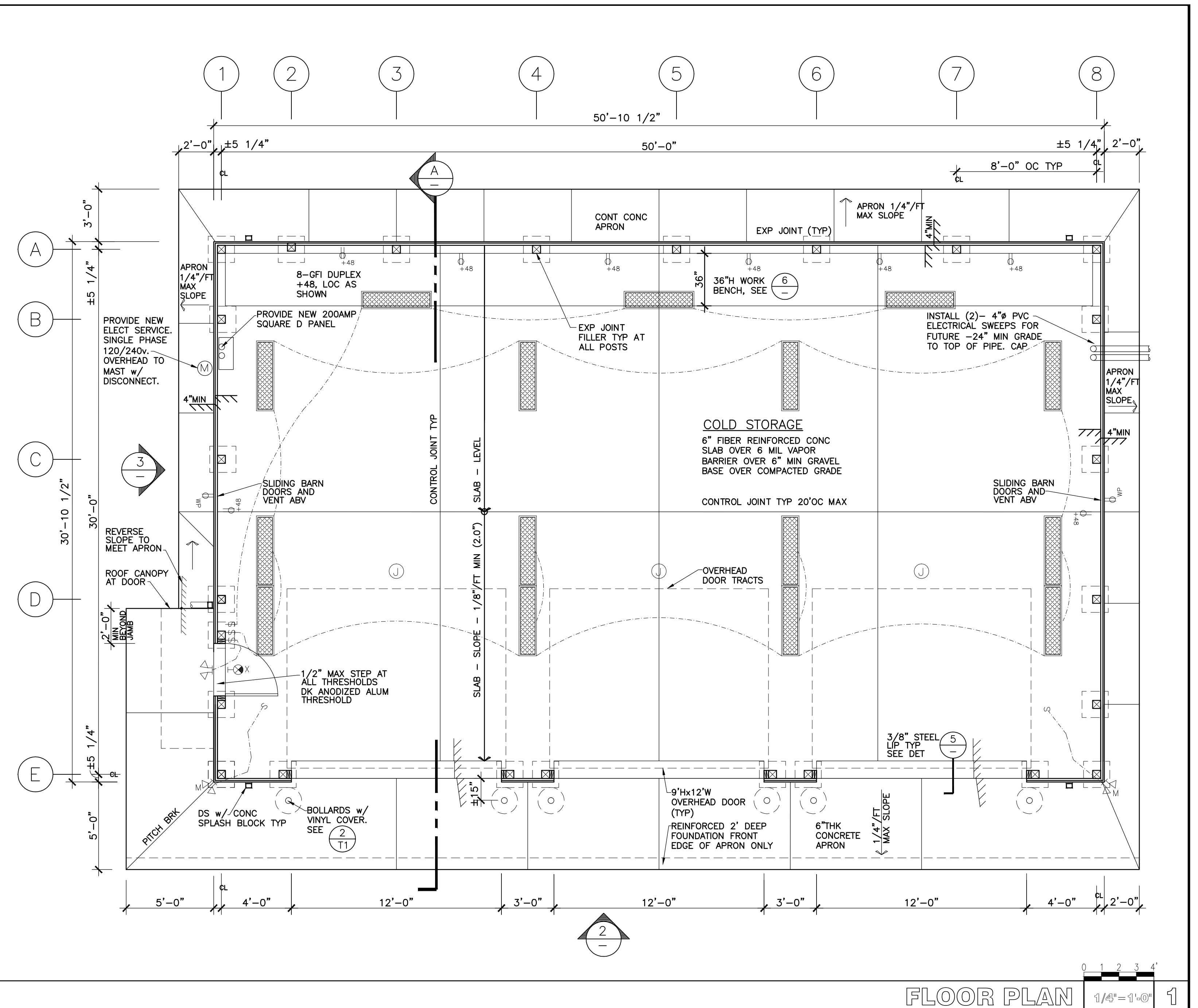
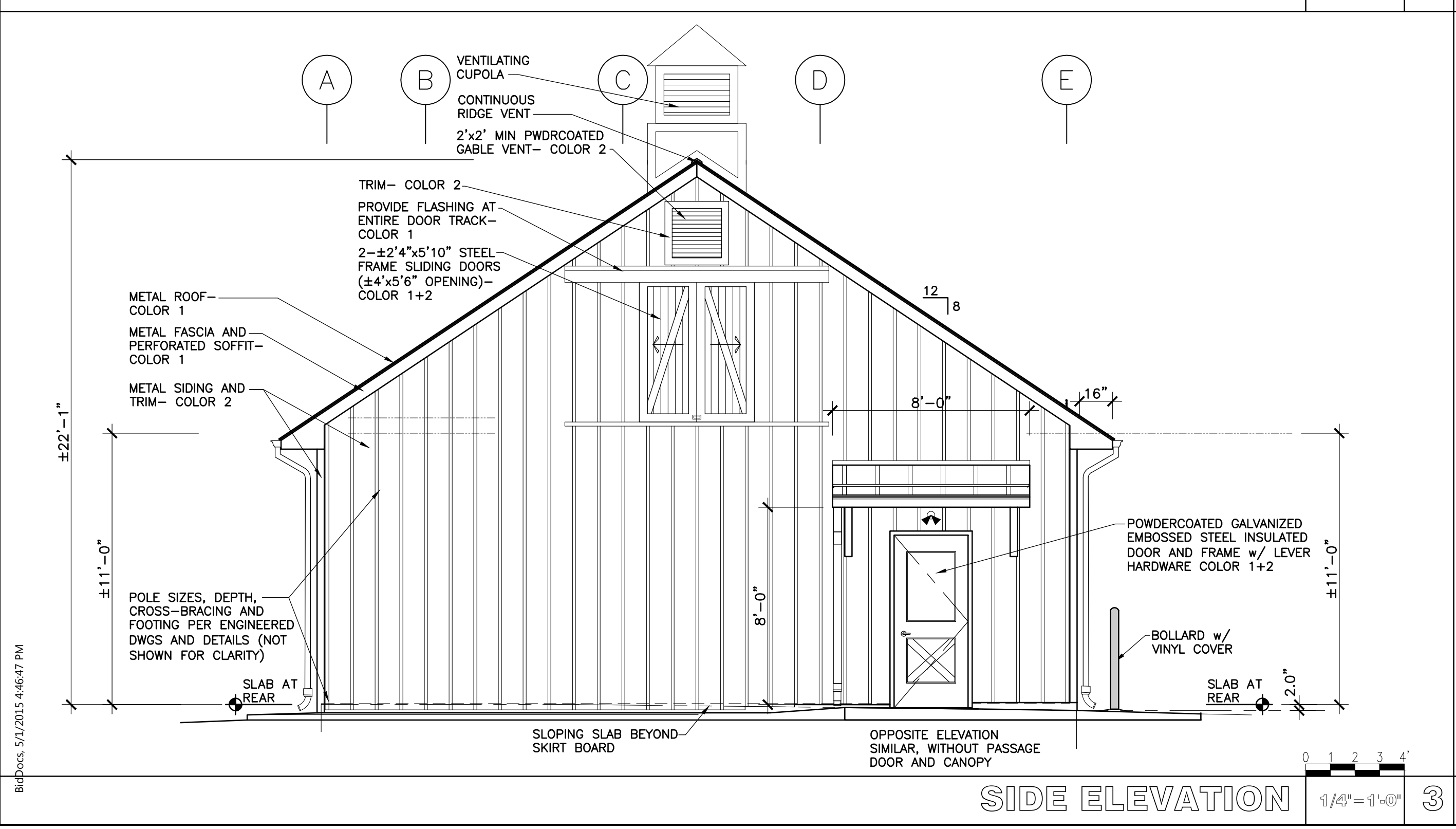
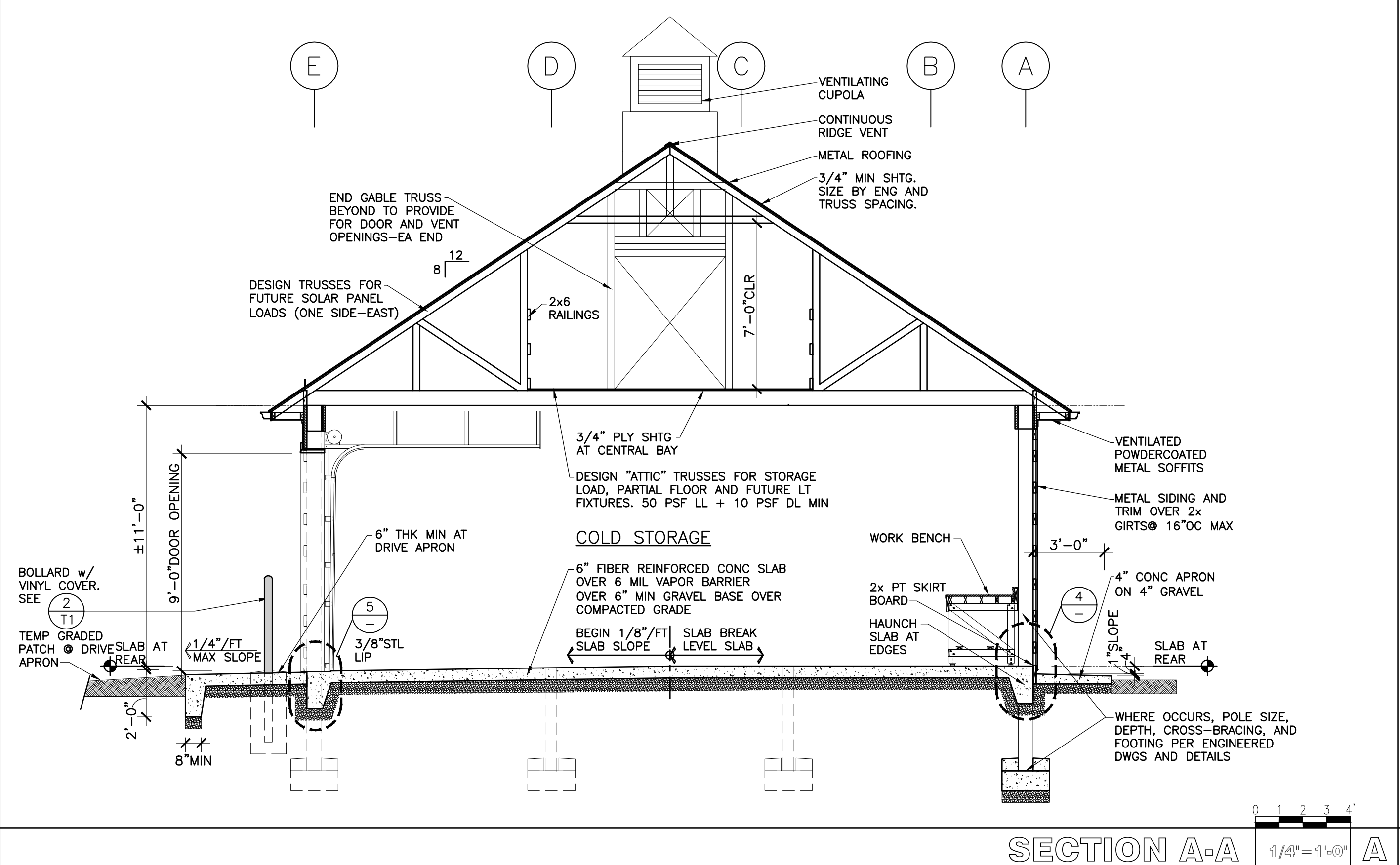
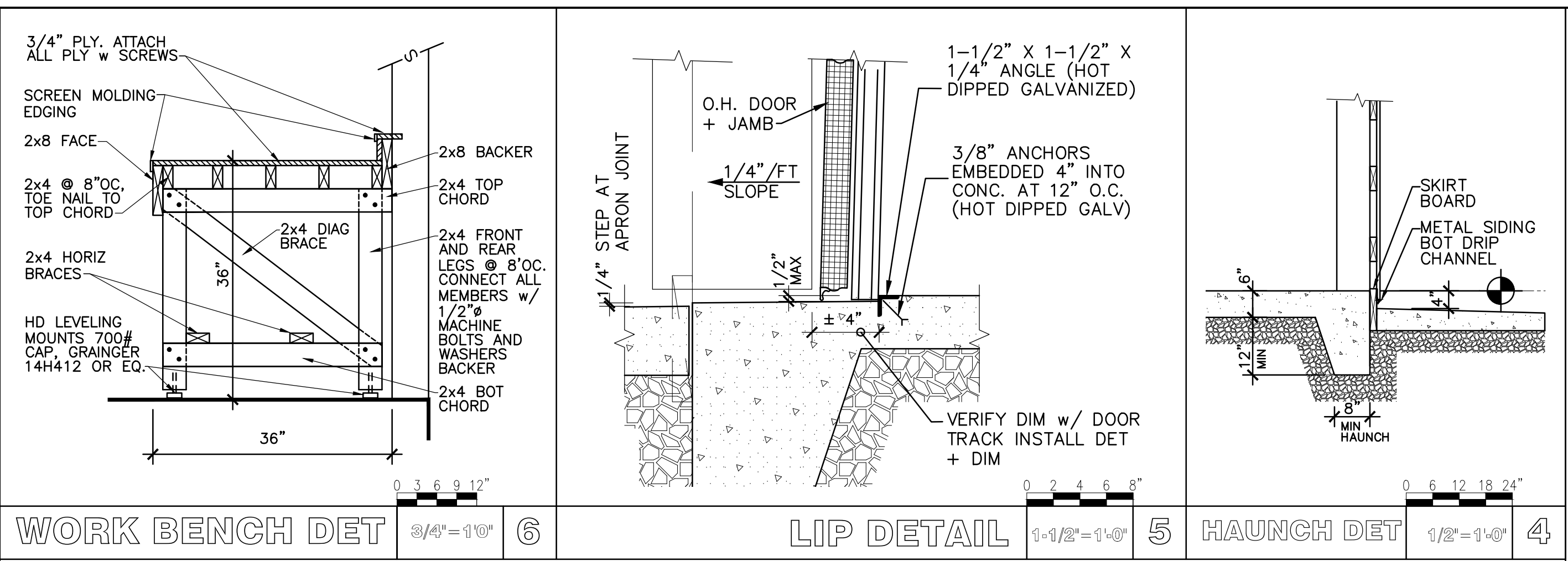
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MONMOUTH COUNTY PARK SYSTEM
BOARD OF PARK AND RECREATION COMMISSIONERS
805 NEWMAN SPRINGS ROAD
LINCOLN, NEW JERSEY 07738-1965
PHONE (732) 842-4000 FAX (732) 842-3640



STORAGE POLE BARN BUILDING
DEEP CUT GARDENS 423
SITE PLANS, GRADING & DETAILS

DATE: 5/5/15 SCALE: AS NOTED PROJECT #: 142330 DRAWN: RO CHECKED:

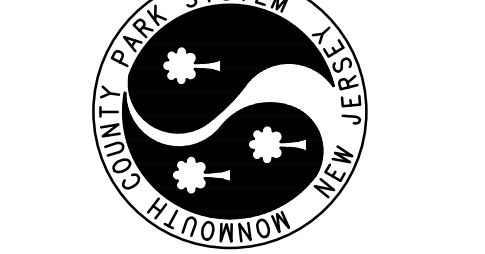


REV DATE BY
CAP REVIEW 09/03/14 GC
BID SET 05/05/15 GC

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STORAGE POLE BARN BUILDING
DEEP CUT GARDENS 423
PLAN, SECTION, ELEVATIONS AND DETAILS

DATE 04/09/15 SCALE AS NOTED PROJECT # 142330 DRAWN GAC CHECKED

SHEET NO. A1
3 OF 3